

OFFICIAL MEETING OF THE
CITY OF KEWAUNEE
PLAN COMMISSION
Kewaunee Municipal Building, 401 Fifth Street
September 21, 2023 – 7:00 p.m.

1. Call to Order/ Roll Call

2. Approve of Minutes

- a. Approval of meeting of August 24, 2023.

3. Public Comment

4. Business Matters (no Public Hearing is required upon the following matters; action may be taken on all matters)

- a. Kewaunee Fabrication LLC. Request for site plan approval under Sec. 94-18.(g) for a small demolition and relocation of office facilities on property located at 520 N. Main Street (Tax Parcel # 31 241 GL17 1-4.1M).
- b. KC DT LLC. Recommendation for a revised Certified Survey Map under Sec. 66-43 for a previously approved and recorded CSM to adjust boundaries, swap land with adjacent parcels, and relocate a proposed street right-of-way, involving property located at 930 Marquette Drive (Tax Parcel # 31 241 NE24 34-3), 1614 Center Street (Tax Parcel # 31 241 NE24 31-11), and remainder property of Tax Parcel # 31 241 NE24 34-1.
- c. Allied Construction. Presentation and discussion of a Conceptual Plan under Sec. 94-102.(b) for a multi-family proposal on property located at 118 Kilbourn Street (Tax Parcel # 31 241 OTP 190).
- d. Proposed Revisions to Sign Standards (Article VIII of Chapter 94 Zoning)
- e. Discussion of Short-Term Rental regulations
- f. Updates on incoming projects

5. Adjournment

Note: Items on the agenda may not be taken in the same order as they appear. Members of other governmental bodies (boards, commissions, committees, councils, etc.) may attend the above noticed meeting of the City Council to gather information. The only action to be taken at the above noticed meeting will be actions by the Plan Commission.

NOTICE: If a person with a disability requires that the meeting be accessible or that materials at the meeting be in an accessible format, call the City Clerk prior to the meeting at 920-388-5000 to request adequate accommodations.

OFFICIAL MEETING MINUTES OF THE
CITY OF KEWAUNEE
PLAN COMMISSION
Kewaunee Municipal Building, 401 Fifth Street
THURSDAY, August 24, 2023 – 6:30 p.m.

1. Call to Order/ Roll Call

Chairperson Laura Gerold called the meeting to order at 6:30 pm. Members present, Claude Stangel, John Blaha, Jeff Welhouse, Cindy Tang and John Mastalir. Chris Holterman joined via phone.

2. Approve of Minutes

- a. Approval of meeting of July 27, 2023.

Claude Stangel motioned to approve the minutes as presented. John Blaha seconded the motion. Motion carried unanimously.

3. Public Comment

None

4. Public Hearing (action may be taken on this matter following the Public Hearing)

- a. **TAX INCREMENT DISTRICT # 3 PROJECT PLAN AMENDMENT.** The main purpose of the territory amendment was to include parcels currently zoned waterfront (WFD) which are being proposed by a developer for redevelopment. **A PUBLIC HEARING IS SCHEDULED FOR THIS MEETING UPON THIS MATTER.**

1. Presentation

Adam Ruechel went over the proposed Tax Increment District #3 plan amendment and explained that the purpose of the amendment is to incorporate the proposed expansion of the district boundary to include parcels currently zoned waterfront (WFD) which are being proposed by a developer for redevelopment. He also explained the next steps in the process of the amendment stating that it would go to the Common Council and then go back to the Joint Review Board for final approval.

2. Public Hearing

Public hearing was called to order at 7:09 pm. After no public comments, the public hearing was closed at 7:10 pm.

3. Consideration on Resolution

It was determined by the Commissioners that there should be a page added to further explain the pay as you go option.

Cindy Tang motioned to approve the resolution as presented with the addition of the pay as you go document. Jeff Welhouse seconded the motion. Motion carried unanimously.

5. **Business Matters** (no Public Hearing is required upon the following matters; action may be taken on all matters)

- a. JR Real Estate Properties LLC. Certified Survey Map for a portion of the property located at Tax Parcel # 31 241 GL18 2-13.2

Commissioners all agreed that it was a good idea as long as there was an easement to provide access to the trail

John Mastalir motioned to approve the CSM as presented and move to Council for approval. Cindy Tang seconded the motion. Motion carried unanimously.

- b. Proposed Revisions to Sign Standards (Article VIII of Chapter 94 Zoning)

Various scenarios were discussed. No decisions were made.

- c. Updates on incoming projects

Family Dollar is working on revising their CSM due to site design changes. Once this is completed, the site plan will come back to the Plan Commission for review.

The City Council approved that the Senior Center could start putting together plans on the old Marquette school site. The plans will come to the Plan Commission to review when they are completed.

Chairperson Gerold asked that due to scheduling conflicts if the meeting for September could be moved up a week to 9/21/2023 rather than 9/28/2023 with a starting time of 7:00. She also requested that the 10/26/2023 meeting start time be moved to 7:30. All were in agreement.

6. Adjournment

Claude Stangel motioned to adjourn the meeting. John Mastalir seconded the motion. Motion carried unanimously. Meeting adjourned at 8:12 pm.

Respectfully Submitted,
Karen Muchowski
Administrative Assistant



City of Kewaunee
401 Fifth Street
Kewaunee, WI 54216
T: 920-388-5000
F: 920-388-5025

MEMORANDUM

TO: Plan Commission

FROM: Heath Eddy, AICP, City Administrator

RE: Plan Commission meeting of September 21, 2023

DATE: September 15, 2023

All Code Sections in this memo refer to the Kewaunee Municipal Code Chapter 94 version dated January 13, 2022, unless as specifically denoted below.

1. **Call to Order/Roll Call.**

2. **Approve of Minutes.**

a. Approval of meeting of August 24, 2023.

3. **Public Comment.**

4. **Business Matters**

- a. **Kewaunee Fabrication LLC.** Request for site plan approval under Sec. 94-18.(g) for a small demolition and relocation of office facilities on property located at 520 N. Main Street (Tax Parcel # 31 241 GL17 1-4.1M).

This is a simple requirement of the Zoning Code to permit the requestors to be able to raze the office portion of the existing structure and then build a new, segregated office building that is 20 feet setback away from the principal manufacturing facility building. This is being done because the office is vacant due to water damage, and the separation is in order to more easily comply with building code requirements (and avoid having to comply with updated code requirements for the main facility building).

Approval of this request allows the requestor to move forward with demolition and construction. Note: staff has authorized the requestor to move forward with demolition of the office portion of the existing building, which could be taking place prior to Plan Commission review of this request. Also, the State DSPS has approved the building plans for this project.

There are no major issues for the site other than slight changes to the parking lot to accommodate the separate office building. There are no other changes required for this development. Staff has no concerns with this request.

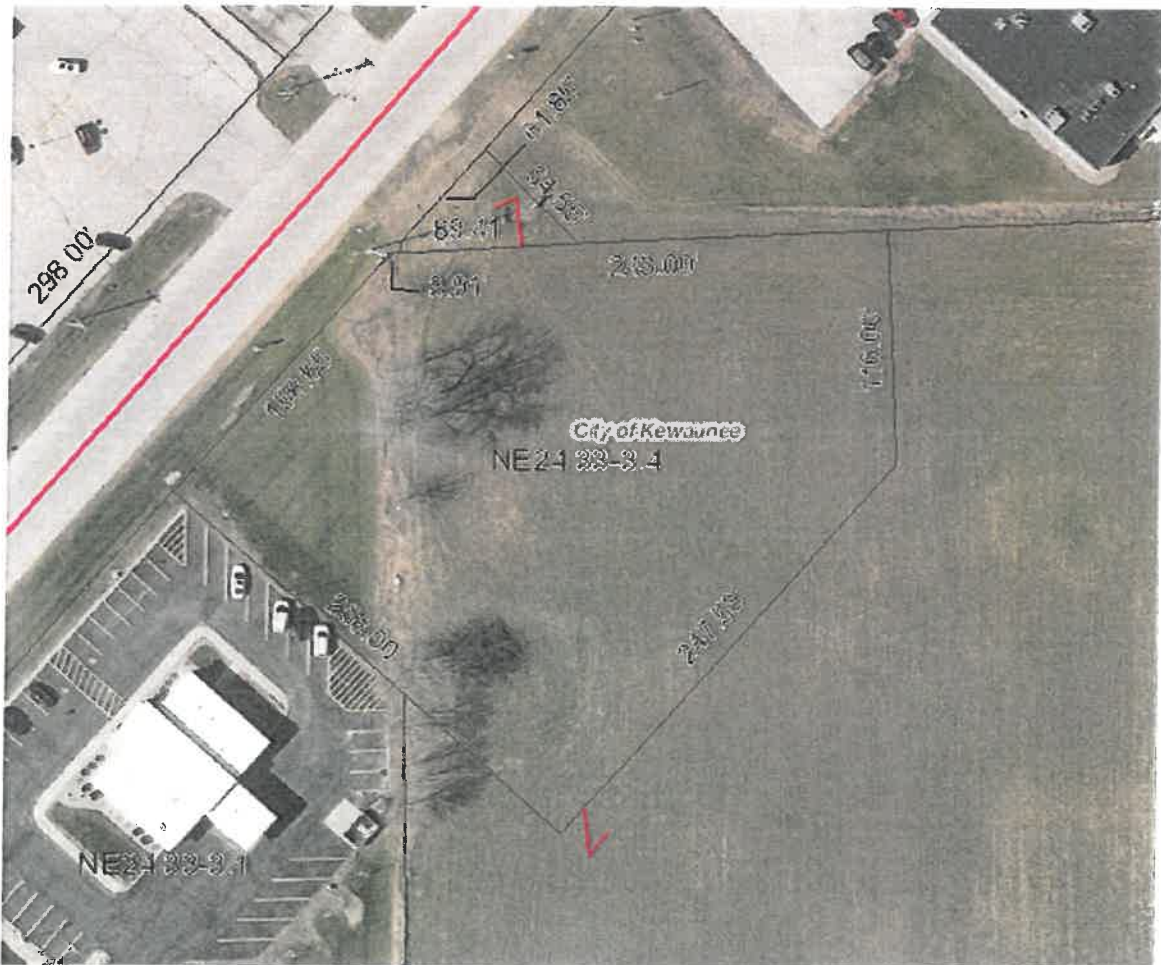
Attachments: (1) Kewaunee Fabrication LLC plan set, McMahon Associates, dated 9/1/2023.

(2) Kewaunee Fabrication LLC, existing condition and demolition plan, 9/1/2023.

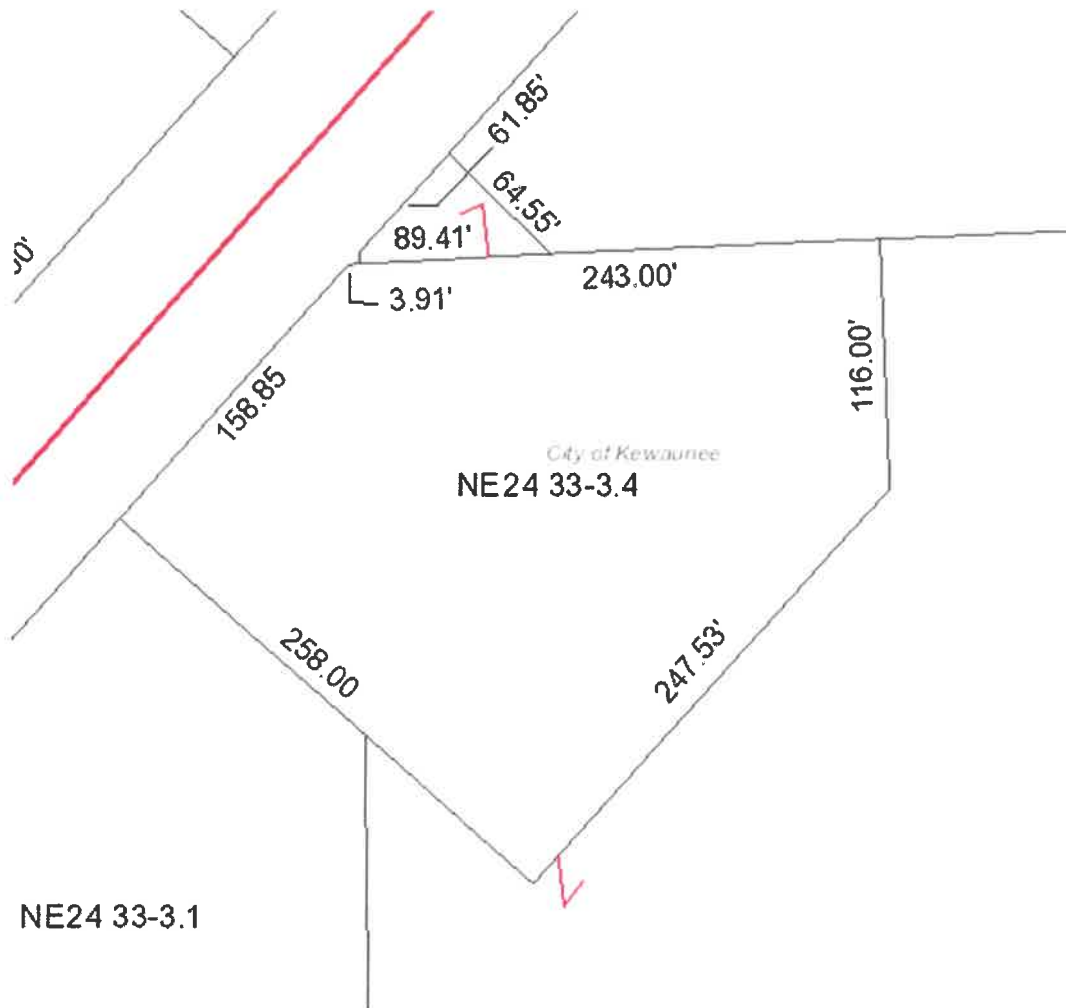
(3) WI DSPS, Permission to Start Construction, dated 9/5/2023.

- b. **KC DT LLC.** Recommendation for a revised Certified Survey Map under Sec. 66-43 for a previously approved and recorded CSM to adjust boundaries, swap land with adjacent parcels, and relocate a proposed street right-of-way, involving property located at 930 Marquette Drive (Tax Parcel # 31 241 NE24 34-3), 1614 Center Street (Tax Parcel # 31 241 NE 24 31-11), and remainder property of Tax Parcel # 31 241 NE 24 34-1.

This request is to address changes to the previously approved and recorded CSM. The existing parcel lines are as shown below:



And here without the aerial photo:



Please note that the currently approved parcel (misabeled as NE 24 33-3.4) excludes a “gap” that runs along the northern property line and connects the majority of the remainder parcel (south and east of the main parcel) with the triangle portion as shown.

The revised CSM is shown in draft form with the revisions as shown:

- c. **Allied Construction.** Presentation and discussion of a Conceptual Plan under Sec. 94-102.(b) for a multi-family proposed on property located at 118 Kilbourn Street (Tax Parcel # 31 241 OTP 190).

Staff met with representatives of Allied Construction to discuss a proposed new construction at the property formerly known as Mermaid Tails. The proposal has been revised since the last discussion with the Plan Commission in 2021. The new proposal is to remove the existing commercial structure and replace it with a new multi-family structure that would be 3-4 stories in height and located closer to the Lake Street/Kilbourn Street intersection and away from the single-family residential area along Main Street to the west and south.

Allied Construction representatives will be at the meeting to discuss their proposal in more detail.

Attachment: (5) Presentation by Allied Construction [sent separately]

- d. **Proposed Revisions to Sign Standards (Article VIII of Chapter 94 Zoning).**

Chairman Gerold has provided a table for discussion of awning and projecting signs as an attachment. I will circle back to the draft regulations as I have time.

Attachment: (6) Awning/Projecting Signs, draft comparison as of 9/17/2023.

- e. **Discussion of Tourist Rooming Houses Regulations**

The Mayor has been in contact with Matt Murphy, City Administrator for the City of Algoma. They have prepared an ordinance that is soon-to-be adopted with a fee for new licenses (\$100 as proposed). The primary focus was on promoting transparency of locally licensed properties with the idea that those licensed properties would be listed on the City website, to provide for a self-policing process to get residents involved in the process.

- f. **Updates on incoming projects**

5. **Adjournment.**

04/1/2023 2:07:42 PM

SHEET INDEX

ELECTRICAL & PLUMBING ARE DESIGN / BUILD

[illegible][illegible]

THE RESEARCHERS JOINED THE BRITISH AND THE SWEDISH VIKINGS TOGETHER, REFINED THE ANALYSIS, AND THEN, IN 1997, PUBLISHED THE RESULTS. THE RESEARCHERS CONCLUDED THAT THE BRITISH AND SWEDISH VIKINGS WERE NOT AS CLOSELY RELATED AS THE EARLIER RESEARCHERS HAD BELIEVED. INSTEAD, THE BRITISH VIKINGS WERE MORE CLOSELY RELATED TO THE SCANDINAVIAN VIKINGS. THE RESEARCHERS ALSO CONCLUDED THAT THE BRITISH VIKINGS WERE MORE CLOSELY RELATED TO THE SCANDINAVIAN VIKINGS THAN THE SWEDISH VIKINGS WERE. THE RESEARCHERS ALSO CONCLUDED THAT THE BRITISH VIKINGS WERE MORE CLOSELY RELATED TO THE SCANDINAVIAN VIKINGS THAN THE SWEDISH VIKINGS WERE.

McMAHON
LAWMAN ASSOCIATES, INC.
1445 PALMATION DRIVE, NICHOLS, VA 22655-1025
TEL: (800) 751-3200 FAX: (502) 554-4284

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 ISBN 0-07-042444-4
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BOLD

A NEW BUILDING FOR:
KEWAUNEE FABRICATIONS, LLC 520 MAIN ST, KEWAUNEE, WI 54216
TITLE SHEET

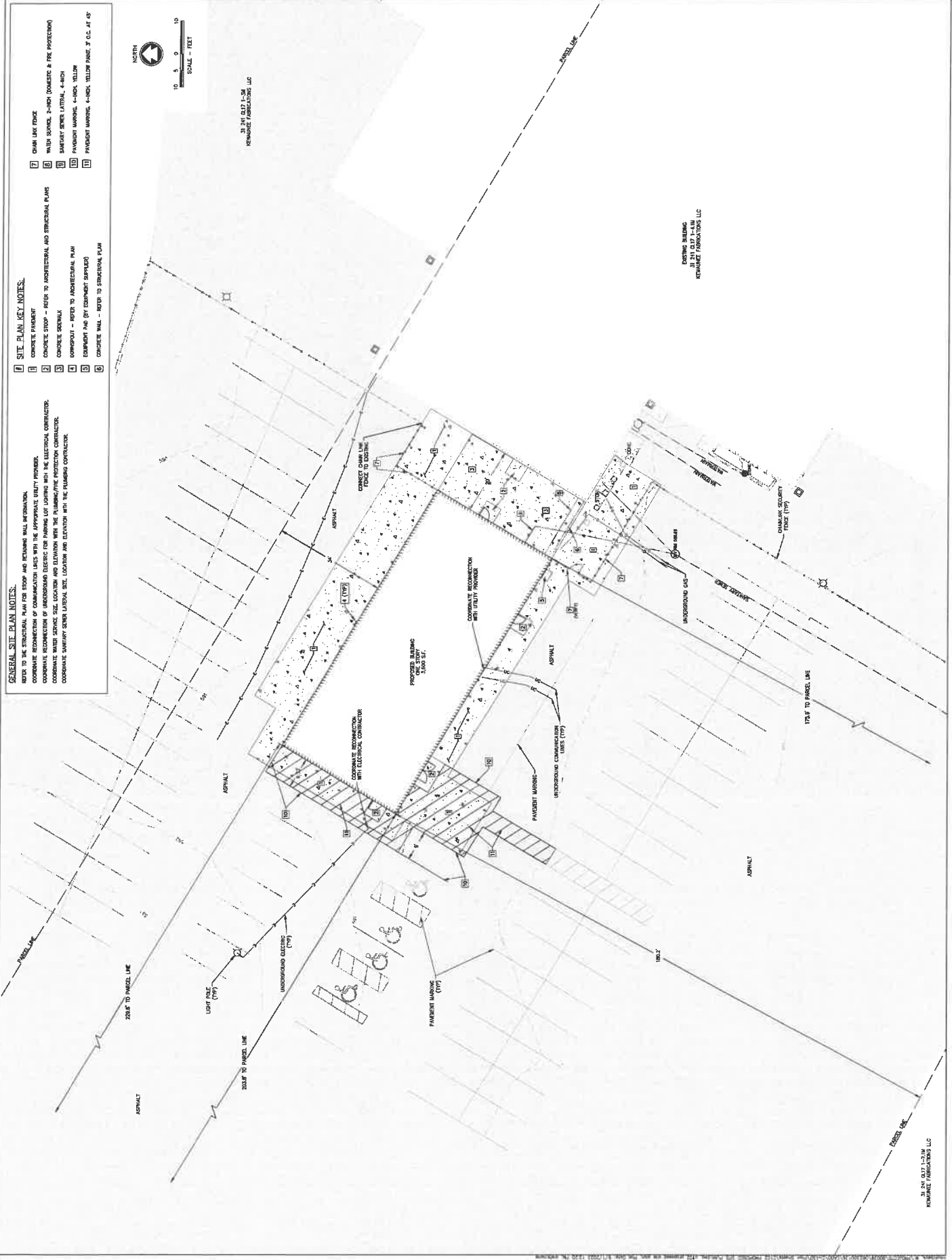
EXP-120	COUNTY
DATE	
FROE 77 NO.	
BODIES IN CHARGE	
DATE	
SERIALIZED	
INDEXED	
A001	

- GENERAL SITE PLAN NOTES:**
 REFER TO THE STRUCTURAL PLAN FOR STOPS AND RETAINING WALL INFORMATION.
 COORDINATE RECONNECTION OF UNDERGROUND UTILITIES WITH THE APPROPRIATE UTILITY PROVIDER.
 COORDINATE RECONNECTION OF UNDERGROUND UTILITIES WITH THE ELECTRICAL CONTRACTOR.
 COORDINATE WATER SERVICE SIZE, LOCATION AND ELEVATION WITH THE PLUMBER/PIPE PROTECTION CONTRACTOR.
 COORDINATE SANITARY SEWER LATERAL SIZE, LOCATION AND ELEVATION WITH THE PLUMBER CONTRACTOR.
- SITE PLAN KEY NOTES:**
- 1 CONCRETE PAVEMENT
 - 2 CONCRETE STOP - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS
 - 3 CONCRETE SIDEWALK
 - 4 CONCRETE - REFER TO ARCHITECTURAL PLAN
 - 5 EXHIBIT PAD (BY EXHIBIT SUPPLIER)
 - 6 CONCRETE WALL - REFER TO STRUCTURAL PLAN
 - 7 CHAIN LINK FENCE
 - 8 WATER SERVICE - 2" HD (DUGEST & THE POWERCO)
 - 9 SANITARY SEWER LATERAL - 4" HD
 - 10 PAVEMENT MARKING - 4" HD, YELLOW
 - 11 PAVEMENT MARKING - 4" HD, YELLOW PAINT, 2" C.C. AT 45°



31.241 CLIP 1-2M
 KEWAUNEE FABRICATIONS, LLC

EXISTING BUILDING
 31.241 CLIP 1-4M
 KEWAUNEE FABRICATIONS, LLC



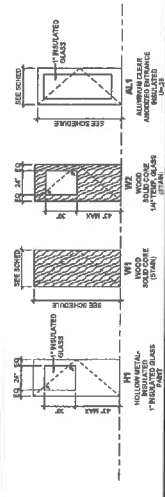
31.241 CLIP 1-2M
 KEWAUNEE FABRICATIONS, LLC



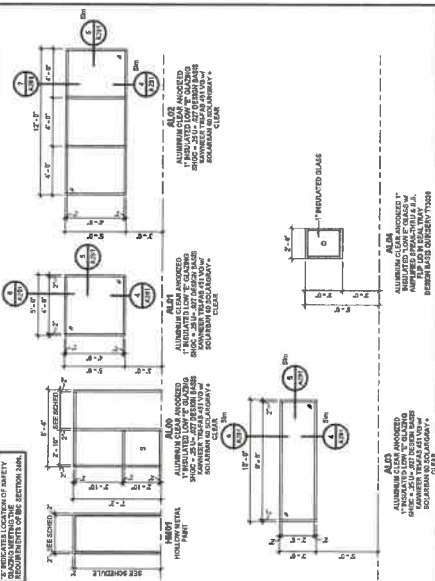
EXISTING BUILDING

DOOR ELEVATIONS

ALL DOOR LITE GLAZING TO BE 1/4" TEMPERED SAFETY GLAZING TO MEET IBC SECTION 2408, UNLESS NOTED OTHERWISE.



NAME ELEVATIONS



1

PROVIDE UNDERCOATING ON
EXTERIOR HM & ALUMINUM DOORS
AND FRAMES FOR THE FIRST 24" AFF.

TOPO	1978	1979	1980	1981	1982	1983	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500	2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540	2541	2542	2543	2544	2545	2546	2547	2548	2549	2550	2551	2552	2553	2554	2555	2556	2557	2558	2559	2560	2561	2562	2563	2564	2565	2566	2567	2568	2569	2570	2571	2572	2573	2574	2575	2576	2577	2578	2579	2580	2581	2582	2583	2584	2585	2586	2587	2588	2589	2590	2591	2592	2593	2594	2595	2596	2597	2598	2599	2600	2601	2602	2603	2604	2605	2606	2607	2608	2609	2610	2611	2612	2613	2614	2615	2616	2617	2618	2619	2620	2621	2622	2623	2624	2625	2626	2627	2628	2629	2630	2631	2632	2633	2634	2635	2636	2637	2638	2639	2640	2641	2642	2643	2644	2645	2646	2647	2648	2649	2650	2651	2652	2653	2654	2655	2656	2657	2658	2659	2660	2661	2662	2663	2664	2665	2666	2667	2668	2669	2670	2671	2672	2673	2674	2675	2676	2677	2678	2679	2680	2681	2682	2683	2684	2685	2686	2687	2688	2689	2690	2691	2692	2693	2694	2695	2696	2697	2698	2699	2700	2701	2702	2703	2704	2705	2706	2707	2708	2709	2710	2711	2712	2713	2714	2715	2716	2717	2718	2719	2720	2721	2722	2723	2724	2725	2726	2727	2728	2729	2730	2731	2732	2733	2734	2735	2736	2737	2738	2739	2740	2741	2742	2743	2744	2745	2746	2747	2748	2749	2750	2751	2752	2753	2754	2755	2756	2757	2758	2759	2760	2761	2762	2763	2764	2765	2766	2767	2768	2769	2770	2771	2772	2773	2774	2775	2776	2777	2778	2779	2780	2781	2782	2783	2784	2785	2786	2787	2788	2789	2790	2791	2792	2793	2794	2795	2796	2797	2798	2799	2800	2801	2802	2803	2804	2805	2806	2807	2808	2809	2810	2811	2812	2813	2814	2815	2816	2817	2818	2819	2820	2821	2822	2823	2824	2825	2826	2827	2828	2829	2830	2831	2832	2833	2834	2835	2836	2837	2838	2839	2840	2841	2842	2843	2844	2845	2846	2847	2848	2849	2850	2851	2852	2853	2854	2855	2856	2857	2858	2859	2860	2861	2862	2863	2864	2865	2866	2867	2868	2869	2870	2871	2872	2873	2874	2875	2876	2877	2878	2879	2880	2881	2882	2883	2884	2885	2886	2887	2888	2889	2890	2891	2892	2893	2894	2895	2896	2897	2898	2899	2900	2901	2902	2903	2904	2905	2906	2907	2908	2909	2910	2911	2912	2913	2914	2915	2916	2917	2918	2919	2920	2921	2922	2923	2924	2925	2926	2927	2928	2929	2930	2931	2932	2933	2934	2935	2936	2937	2938	2939	2940	2941	2942	2943	2944	2945	2946	2947	2948	2949	2950	2951	2952	2953	2954	2955	2956	2957	2958	2959	2960	2961	2962	2963	2964	2965	2966	2967	2968	2969	2970	2971	2972	2973	2974	2975	2976	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SEE REPLICATION FOR DOG AND CAT INFORMATION

DOOR SCHEDULE

[illegible]

GENERAL DOOR & HARDWARE NOTES

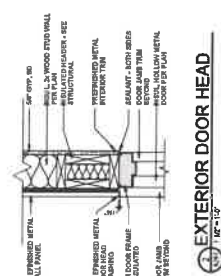
(1) HANDS SHALL NOT REQUIRE TIGHT GRIPPING OR THUMBING OF THE HANDLE TO OPERATE. THUMBSTICK OPERATORS ARE PROHIBITED. LEVER OR PADLOCK EXCLUDED RELEASES ARE ACCEPTABLE. DOOR THRESHOLD SHALL NOT BE EXCEEDED ONLY BY HIGH IN WEIGHT & SHALL HAVE 1.2 REVEL. DOOR CLOSERS SHALL MEET THE FORCE & STEEP FRICTION REQUIREMENTS.

PROVIDE LEVER TYPE HANDLES ON LOCKETS

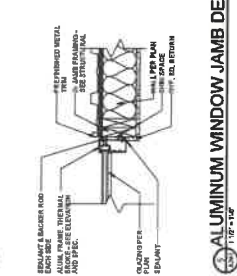
SEE HIGHLIGHTS SET FOR DOORS WITH ELECTRONIC KEYPADS, ALARMS, ETC.

HARTCOFT TRASH, BUSH, STAIN, STYER, REMOVA

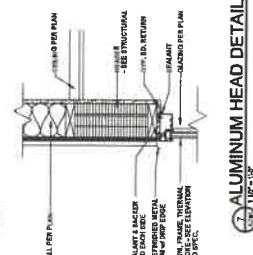
HARDWARE SETS

[illegible]

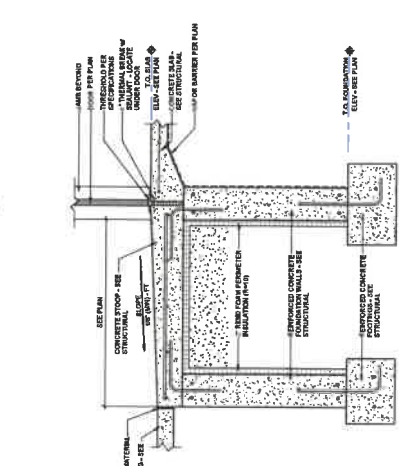
EXTERIOR DOOR HEAD



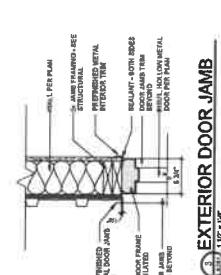
ALUMINUM WINDOW JAMB DETAIL



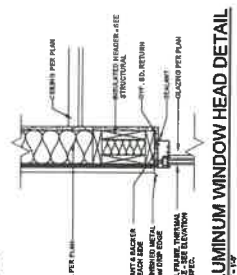
7 ALUMINUM HEAD DETAIL



DOOR THRESHOLD / STOOP DETAIL



3 EXTERIOR DOOR JAMB



ALUMINUM WINDOW HEAD DETAIL

MCN EXTERIOR MATERIALS LEGEND

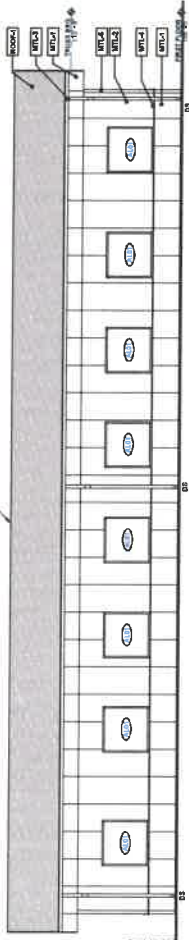
ITEM	DESCRIPTION	MANUFACTURER	FINISH
1	CEILING	CEILING	CEILING
2	WALL	WALL	WALL
3	FLOOR	FLOOR	FLOOR
4	ROOF	ROOF	ROOF
5	DOOR	DOOR	DOOR
6	WINDOW	WINDOW	WINDOW
7	SKYLIGHT	SKYLIGHT	SKYLIGHT
8	CLADDING	CLADDING	CLADDING
9	TRIM	TRIM	TRIM
10	PAINT	PAINT	PAINT
11	GLASS	GLASS	GLASS
12	ROOFING	ROOFING	ROOFING
13	FOUNDATION	FOUNDATION	FOUNDATION
14	LANDSCAPE	LANDSCAPE	LANDSCAPE
15	MECHANICAL	MECHANICAL	MECHANICAL
16	ELECTRICAL	ELECTRICAL	ELECTRICAL
17	PLUMBING	PLUMBING	PLUMBING
18	HEATING	HEATING	HEATING
19	Cooling	Cooling	Cooling
20	Other	Other	Other

NOTES

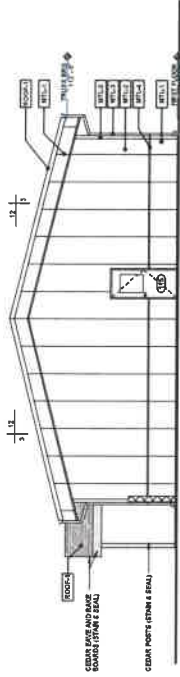
1. ALL MATERIALS TO BE USED AS SHOWN ON ALL SHEETS.
2. ALL MATERIALS TO BE USED AS SHOWN ON ALL SHEETS.
3. ALL MATERIALS TO BE USED AS SHOWN ON ALL SHEETS.
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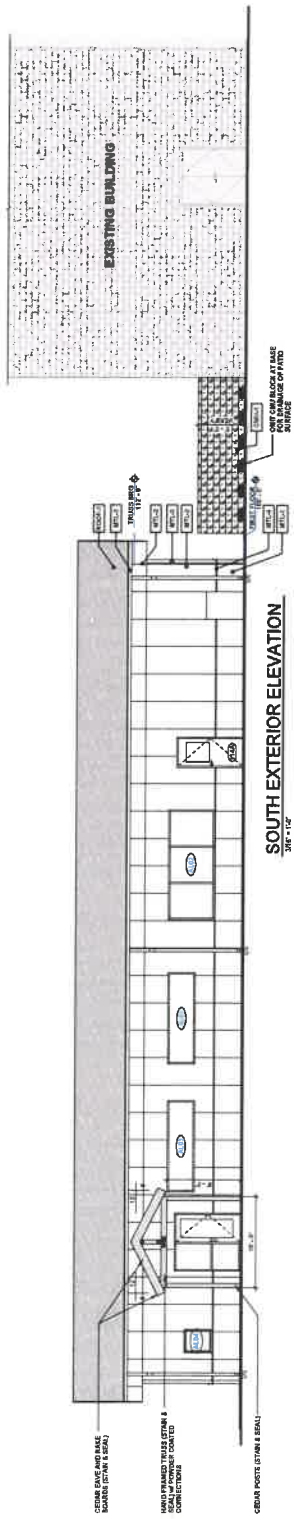
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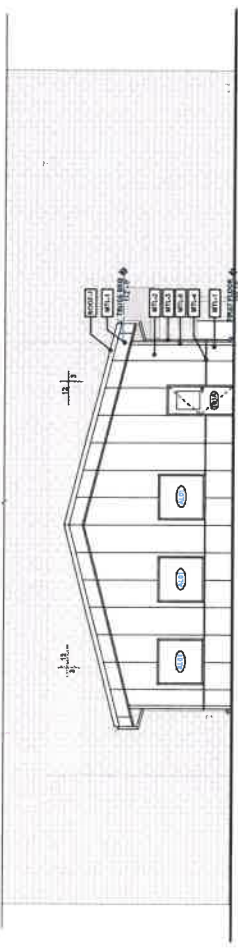
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 1/4" = 1'-0"



EAST EXTERIOR ELEVATION
 1/4" = 1'-0"



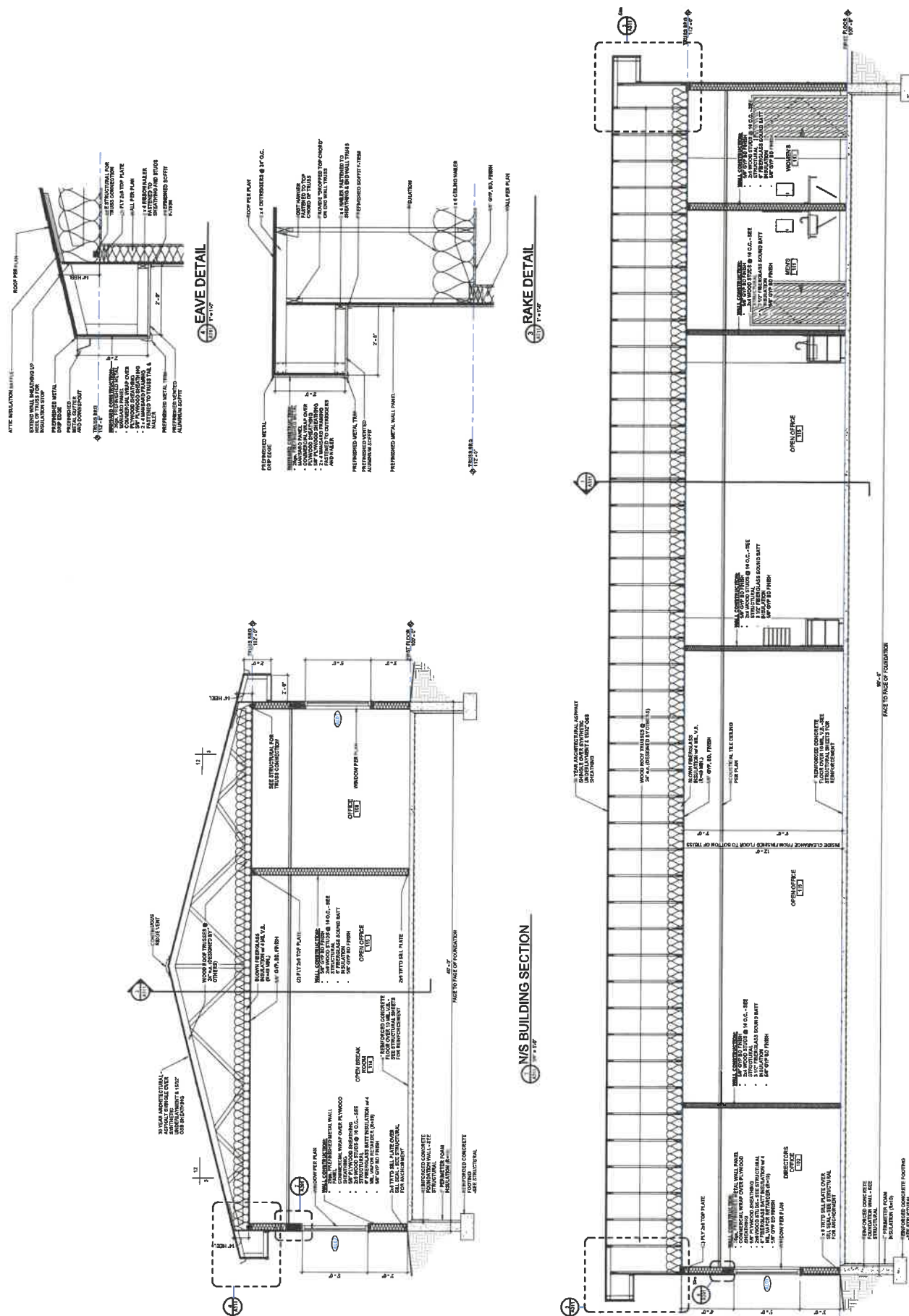
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WEST EXTERIOR ELEVATION
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N/S BUILDING SECTION

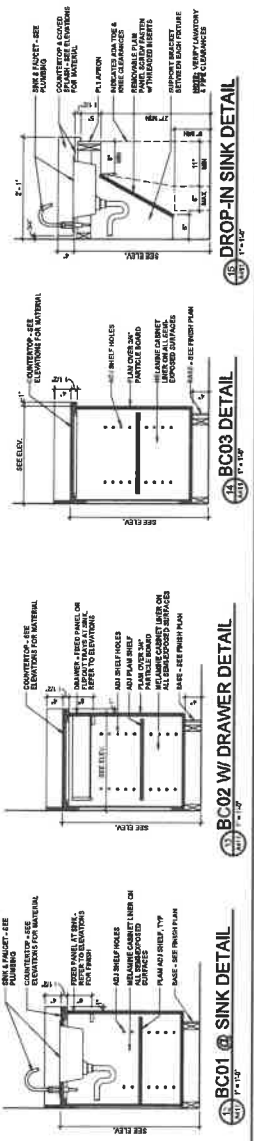
2 EAW BUILDING SECTION
4311 38" x 14"





NOTE:
ALL EXPOSED TRUSS CONNECTORS TO BE
POWDER COATED BLACK
SEE SMIPSON CONNECTION CUT SHEETS
FOR ADDITIONAL INFORMATION ON
FASTENERS AND INSTALLATION
REQUIREMENTS

15
4.41' 1" = 12"

[illegible]

STRUCTURAL SPECIFICATIONS

DESIGN CODE:

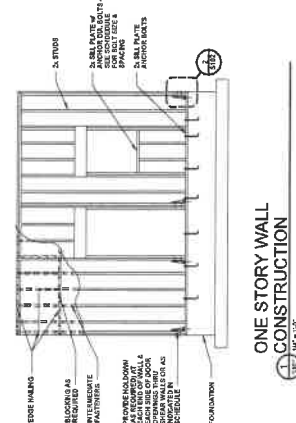
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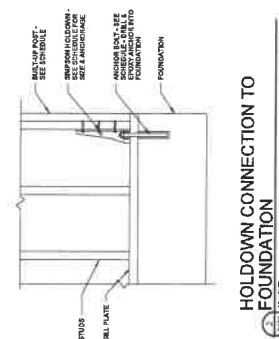
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WOOD WALL SCHEDULE									
MARK	DESCRIPTION	WALL TYPE	WALL THICKNESS	WALL HEIGHT	WALL FINISH	WALL COLOR	WALL GRADE	WALL ELEVATION	WALL AREA
101	WOOD WALL	WALL	4" MIN.	8" MAX.	PAINT	PAINT	PAINT	PAINT	PAINT
102	WOOD WALL	WALL	4" MIN.	8" MAX.	PAINT	PAINT	PAINT	PAINT	PAINT

WOOD HEADER SCHEDULE									
MARK	DESCRIPTION	WALL TYPE	WALL THICKNESS	WALL HEIGHT	WALL FINISH	WALL COLOR	WALL GRADE	WALL ELEVATION	WALL AREA
101	WOOD HEADER	WALL	4" MIN.	8" MAX.	PAINT	PAINT	PAINT	PAINT	PAINT
102	WOOD HEADER	WALL	4" MIN.	8" MAX.	PAINT	PAINT	PAINT	PAINT	PAINT



ONE STORY WALL CONSTRUCTION



HOLD-DOWN CONNECTION TO FOUNDATION

NAILING SCHEDULE									
CONNECTION	WALL TYPE	WALL THICKNESS	WALL HEIGHT	WALL FINISH	WALL COLOR	WALL GRADE	WALL ELEVATION	WALL AREA	WALL NAILING
101	WOOD WALL	WALL	4" MIN.	8" MAX.	PAINT	PAINT	PAINT	PAINT	PAINT
102	WOOD WALL	WALL	4" MIN.	8" MAX.	PAINT	PAINT	PAINT	PAINT	PAINT





785 COUNTY CB, SUITE 200, NEENAH, WI 54956
1-888-203-3445 WATS 1-800-242-0406

KEWAUNEE FABRICATIONS, LLC
520 MAIN STREET
KEWAUNEE, WI 54216

BAUMGART MECHANICAL, INC.
N1644 COUNTRY ROAD J
KAUKAUNA, WI 54130

INDEX

M-1: HVAC FLOOR PLAN
& SCHEDULES

M-S: SPECIFICATIONS



REGISTRATION STAMP
& SIGNATURE

NO.	MODEL	MFG.	SERVICE	NUMERICAL TONS	SEER	REFRIGERATION FIRM		ELECTRICAL			
						LIQUID	SUCT-CL	WV/PH/CH	MACT	FLA	LEA
ACCL1	PAGEN4400N	PAYNE	F-1	4.0	13.4	3/8"	7/8"	205-280/11/66	40.0	18.5	124.0
ACCL2	PAGEN4500N	PAYNE	F-2	4.5	13.4	3/8"	3/4"	205-280/11/66	25.0	11.8	64.0

NO.	MODEL	MFG.	CMM	S.P.	1000000		OUTLET DUCT	TYPE
					HP	HP/HP/HP/HP		
10-1	PA-011VQ1	PANASONIC	75	0.25	1172	250/1/40	6"	CEILING
10-2	EV-20VQ2	PANASONIC	150	0.35	871	115/1/40	6"	CEILING

[illegible]

1. MINIMUM VALUES FOR INSTALLED INSULATION. PRE-APPLICATION VALUES MAY NEED TO BE HIGHER, IN ORDER TO MEET INSTALLED VALUES REQUIREMENTS.
2. ALL DUCTWORK MUST BE INSTALLED ON ALL UNFINISHED SURFACES.
3. ALL DUCTWORK SURFACES OF THE BUILDING ENVELOPE MUST BE SEALED TO RESIST WEATHER TIGHT WITH AN APPROVED WEATHER COATING SUCH AS ALUMINUMUM 60% POLYURETHANE.
4. ALL DUCTWORK LESS THAN 12 INCHES IN DIAMETER CAN BE REDUCED FROM THE LISTED VALUE ABOVE TO 6.4 AND FROM 6.4 TO 4.2 UNDER CERTAIN CONDITIONS. REDUCED DUCTWORK MAY NOT BE INSTALLED TO MEET PRE-APPLICATION (BETTER) THAN

NO.	MODEL	MFG.	WATTS	BTU	ELECTRICAL VOLT/PH/Hz	REMARKS
ENV-1	174	BROAN	1.125	3,640	208-230/1/60	MOUNT A MINIMUM OF 6" ABOVE THE FLOOR

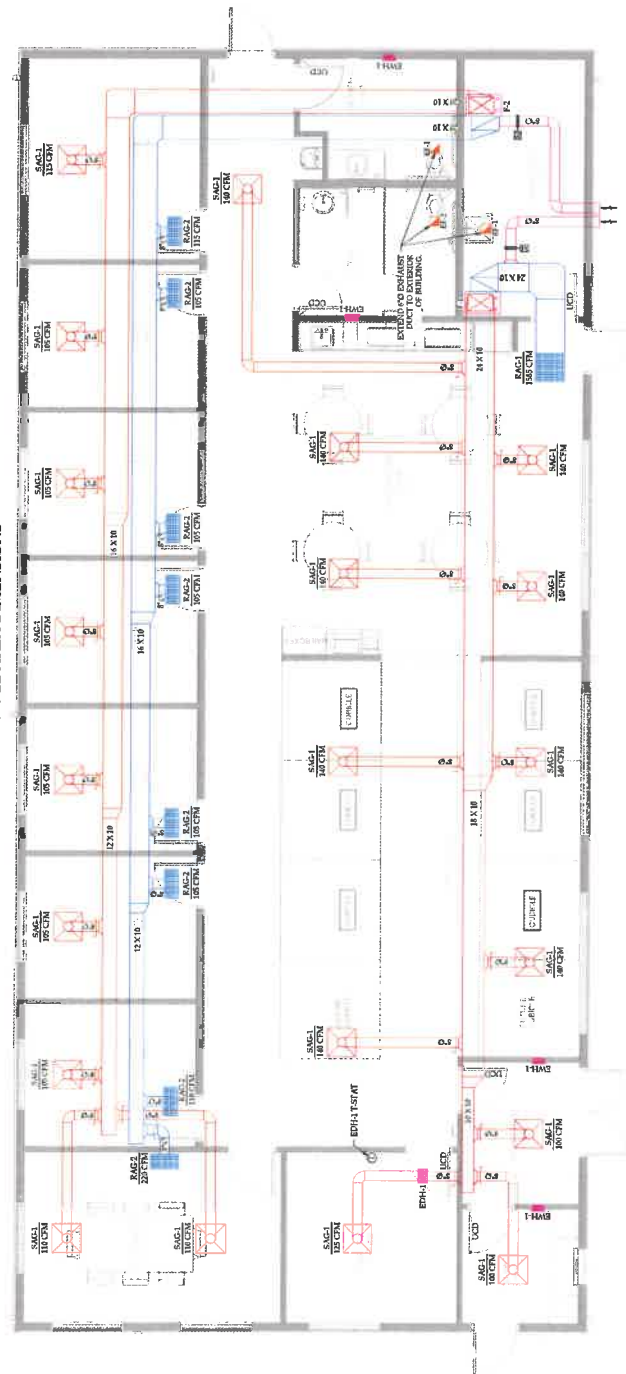
NO.	MODEL	MTC	SUPPLY AIR (CFM)	OUTSIDE AIR (CFM)	G.P. (IN. W.G.)	HEATING		ELECTRICAL	
						BURN RATE (GPM)	HEATING CAPACITY (BTU/HOUR)	VOLT/PHASE	MAXIMUM AMP
F-1	FORMER-AM-800	PAYNE	1,585	225	0.5	60,000	70,000	115/1/60	13.1
F-2	FORMER-AM-800	PAYNE	565	125	0.5	40,000	50,000	115/1/60	10.1

NO.	MODEL	MFG.	SIZE	DUCT SIZE	TYPE
SAG-1	2004CD	TRU AIR®	2024	40 IN. PVC	LAY-IN DIFFUSER
RAG-1	EGGRATE	TRU AIR®	2024	40 IN. PVC	CEILING RETURN
RAG-2	EGGRATE	TRU AIR®	2002	40 IN. PVC	CEILING RETURN

NO.	MODEL	NFC	DUCT SIZE	WATTS	BTU/HR	HEATING WATTING
EDH-1	2 1/2" x 3 1/2"	1144674616	8"	3,000	10,236	2400/160

NO.	MODEL	MFG.	DUCT SIZE	WATTS	BTU/HR	REMARKS & WORKING
EDH-1	EDH-1	1111111111	8	3,000	10,746	2807/1/69

ALL DUCT DIMENSIONS
ARE FREE AREA DIMENSIONS



HVAC FLOOR PLAN

 $\text{CAlE} = 1/\text{E} = 1.4$ 

THESE DRAWINGS ARE DIAGNOSTIC AND ARE INTENDED TO SHOW THE INTENT OF THE SPECIFICATIONS. SAME FIELD CHANGES THAT DO NOT AFFECT THE PERFORMANCE OR INTENT OF THE DESIGN ARE ACCEPTABLE AND SHOULD BE EXPECTED. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS AND ACCEPT RESPONSIBILITY FOR THEIR ACCURACY.

THE DESIGN INTENT IS TO
PROVIDE FOR A CODE
MINIMUM.

KEWAUNEE FABRICATING
520 MAIN STREET
KEWAUNEE, WI 54216

BAUMGART MECHANICAL, INC.
N1644 COUNTRY ROAD J
KAUKAUNA, WI 54130

AUER STEEL THE AUER SERVICE & HEATING SUPPLY CO.

9040-212-009-1 SLVM 9412-202-999-1
9040-212-009-1 SLVM 9412-202-999-1

30/2023

$$1^0 = 1^1 = 0^0 = 1$$

BCA

E. JANDRIN

09/2023

FLOOR PLAN

31944

M-1

Wisconsin Department of Safety and Professional Services
 Division of Industry Services
 4822 Madison Yards Way
 PO Box 7302
 Madison, WI 53707



Phone: 608-266-2112
 Web: <http://dsps.wi.gov>
 Email: dsps@wisconsin.gov

Tony Evers, Governor
Dan Hereth, Secretary

September 5, 2023

MICHAEL MARTIN
 MCMAHON ASSOCIATES, INC.
 1445 MCMAHON DRIVE
 NEENAH WI 54956

Identification Numbers
Application No.: DIS-092339343
Site ID No.: SIT-121017
Please refer to all identification numbers in each correspondence with the Department.

PERMISSION TO START CONSTRUCTION

MUNICIPALITY:
 CITY OF KEWAUNEE
 KEWAUNEE COUNTY

SITE:
 KEWAUNEE FABRICATIONS - OFFICE
 520 NORTH MAIN STREET
 KEWAUNEE WI 54216

FOR:
 520 NORTH MAIN STREET

Object Type: Building
Building Name.: Kewaunee Fabrications - New Office
Major Occupancy: B - Business
Class of Construction: VB - Combustible Unprotected Construction
Building Review Type: New
Plan Type: Full/Complete Building
Total Floor Area in Sq Ft: 3,600
Sprinklered Type: NFPA 13
Occupancy: S-1 - Storage Moderate-Hazard
Allowable Area Determined By:
Structural Components Included in Review: None
Alteration Level: None

Object Type: HVAC
ID No.: Kewaunee Fabrications - New Office- HVAC
Total Floor Area in Sq Ft: 3,600

The Department of Safety and Professional Services has received construction plans for review for the subject project, submitted in accordance with the provisions of SPS 361.32, accompanied by the owner's request to begin construction work on the footings and foundations prior to departmental review and approval.

This letter will serve as the Department's permission to the local building officials to allow construction of the footings and foundations only, for the subject project prior to review and approval by this Department.

NO REVIEW OF THE SUBMITTED DOCUMENTS FOR CODE COMPLIANCE HAS BEEN UNDERTAKEN BY THE DEPARTMENT AT THIS TIME.

In accordance with the provisions of the owner's signed request to begin construction prior to departmental review and approval, the owner will be required to make any changes after the plans have been reviewed, and to remove or replace non-code complying parts of the foundations and/or footings.

Prior to the start of construction, all applicable building permits should be obtained from the local authorities having jurisdiction in accordance with local laws and ordinances. You are responsible for complying with state and federal laws concerning construction

near or on wetlands, lakes, and streams. For more information, visit the Department of Natural Resources (DNR) Wetlands Identification web page or contact a DNR service center.

DEPARTMENT CONDITIONS

1. Contact both the State Inspector and the local municipality PRIOR to the start of construction.
2. This plan has not been reviewed for compliance with fire code requirements. Contact the local Fire Department for further information.
3. If this project is in an unsewered area, a sanitary permit must be obtained prior to the issuance of a local building permit.
4. This permission is only for footing and foundation work. Construction of the remainder of the building shall not take place prior to the departmental review and conditional approval of the construction plans.
5. If this construction project will disturb one or more acres of land, a Water Resources Application for Project Permits (WRAPP) (previously known as the Notice of Intent) shall be filed with the DNR prior to any land-disturbing activities. More information regarding the DNR's permitting requirements for runoff management for construction sites can be found at the DNR's website: <http://dnr.wi.gov/topic/stormwater/construction>.
6. This Permission to Start does not include permission to install any underground plumbing, including sanitary/storm sewers, water, mains, or hydronic piping including in-floor heat. All projects needing submittal per SPS Tables 382.20-1 and 2 must have complete plumbing plans, application, and fees submitted and approved prior to commencement of any plumbing work.
7. A copy of the plans that were submitted to our agency for which this Permission to Start was issued shall be kept on the jobsite with this letter.
8. **IBC 1809.4** - Exterior wall and column footings shall be at least 12 inches below grade and shall extend below the frost line of the locality. The designer is cautioned that the actual frost depths for that locality may extend deeper than the footing depths indicated on the submitted plans. Where applicable, the requirements of Section 1809.5 shall also be satisfied.
IBC 1809.5 - Frost protection. Except where otherwise protected from frost, foundations and other permanent supports of buildings and structures shall be protected from frost by one or more of the following methods: 1) Extending below the frost line of the locality, and 2) Constructing in accordance with ASCE 32.

Inquiries concerning this correspondence may be made to me at the contact information listed below.

Sincerely,

Karla Parker
Division of Industry Services
karla.parker@wisconsin.gov

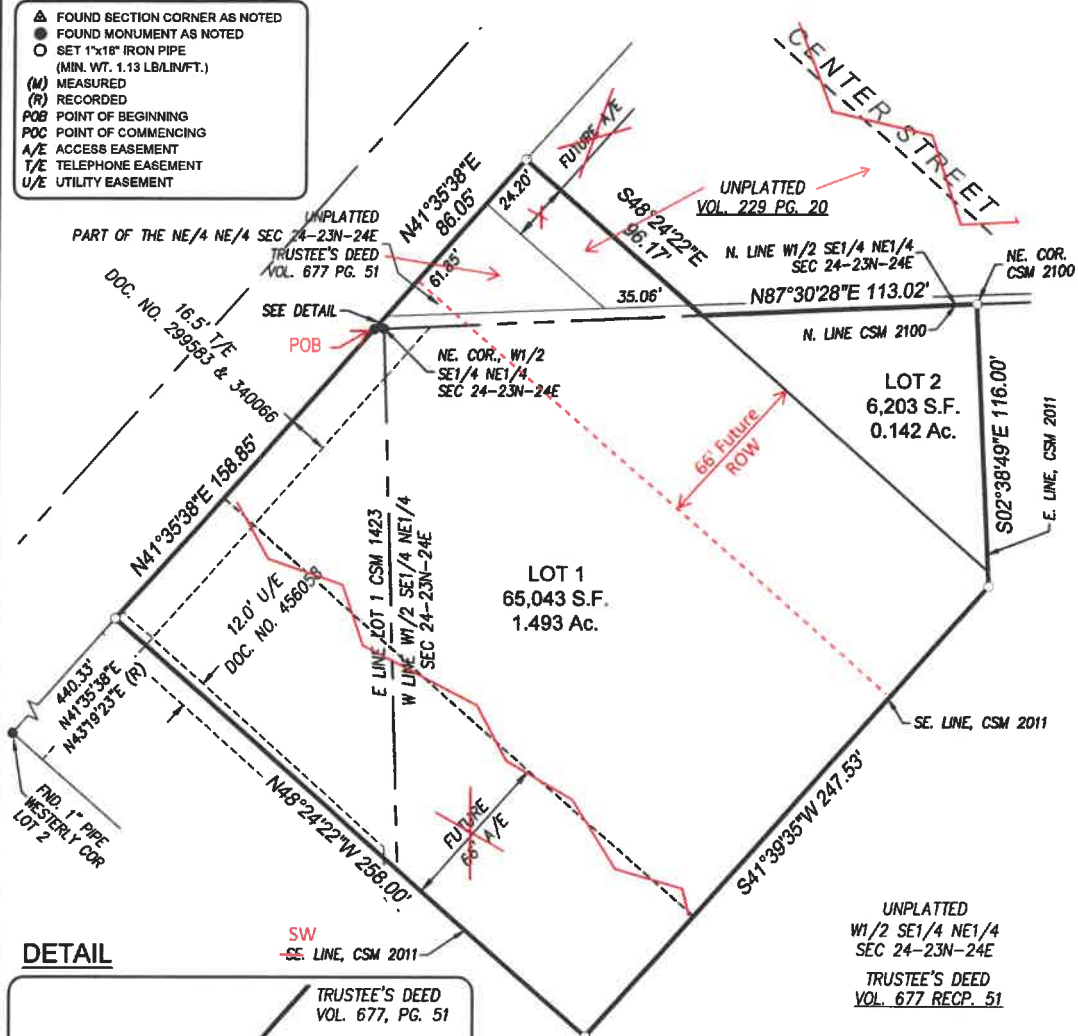
CC: CHAD ROTHMEIER, DIS INSPECTOR, 608-438-5255, CHAD.ROTHMEIER@WISCONSIN.GOV
JO ANN LESSER, MUNICIPAL CLERK, 920-388-5000, JLESSER@CITYOFKEWAUNEE.ORG
MARC MANSKE, KEWAUNEE FABRICATIONS, LLC

CERTIFIED SURVEY MAP No. _____

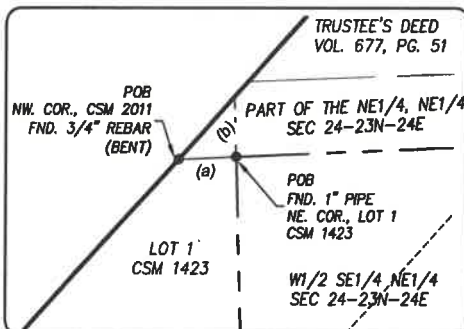
Being all of Lot 1 of Certified Survey Map 2011 as recorded in Vol. 11 of Certified Survey Maps on Page 161 of the records of Kewaunee County, Wisconsin, which is located in the South Half of the Northeast Quarter of Section 24, Township 23 North, Range 24 East, City of Kewaunee of said Kewaunee County; AND ALSO, all of a parcel of land in the North half of said Northeast Quarter as described in Trustee's Deed, Volume 677 at Page 51 as Document 449665 of the records of said Kewaunee County; AND ALSO, a portion of a parcel of land in said North Half of the Northeast Quarter as described in a Quit Claim Deed recorded as Document 347285 in Volume 299 at Page 20 of the records of Kewaunee County; AND ALSO, all a part of said North Half of the Northeast Quarter lying south of and abutting the South line of said tract of land described in a Quit Claim Deed recorded as Document 347285 in Volume 299 at Page 20 of the records of said Kewaunee County.

LEGEND:

- ▲ FOUND SECTION CORNER AS NOTED
- FOUND MONUMENT AS NOTED
- SET 1"x18" IRON PIPE (MIN. WT. 1.13 LB/LINFT.)
- (M) MEASURED
- (R) RECORDED
- POB POINT OF BEGINNING
- POC POINT OF COMMENCING
- A/E ACCESS EASEMENT
- T/E TELEPHONE EASEMENT
- U/E UTILITY EASEMENT



DETAIL



Basis of Bearing: NAD83(2011) W/Central Grid North

LINE TABLE

(a) N89°14'13"E 3.91' (R)	N87°30'28"E 3.91' (M)
(b) N41°35'38"E 7.10' (R)	



Aug 24, 2023, 10:58am
Z:\RMC Design\2022\22-0111\Kewaunee\Draw\Sheets\Survey\22-0111 Kewaunee SURV CSM-03.dwg

Sheet x of 5

FOR THE EXECUTIVE USE OF:

KC DT, LLC
Attn: Mike Belew
CBC Real Estate
4706 Broadway, Suite 240
Kansas City, MO 64112



Renaissance
Infrastructure
Consulting

102 Abble Avenue
Kansas City, Kansas 66103

913.317.8500
www.rio-consult.com

CERTIFIED SURVEY MAP No. _____

Being all of Lot 1 of Certified Survey Map 2011 as recorded in Vol. 11 of Certified Survey Maps on Page 161 of the records of Kewaunee County, Wisconsin, which is located in the South Half of the Northeast Quarter of Section 24, Township 23 North, Range 24 East, City of Kewaunee of said Kewaunee County; AND ALSO, all of a parcel of land in the North half of said Northeast Quarter as described in Trustee's Deed, Volume 677 at Page 51 as Document 449665 of the records of said Kewaunee County; AND ALSO, a portion of a parcel of land in said North Half of the Northeast Quarter as described in a Quit Claim Deed recorded as Document 347285 in Volume 299 at Page 20 of the records of Kewaunee County; AND ALSO, all a part of said North Half of the Northeast Quarter lying south of and abutting the South line of said tract of land described in a Quit Claim Deed recorded as Document 347285 in Volume 299 at Page 20 of the records of said Kewaunee County.

SURVEYOR'S CERTIFICATE OF COMPLIANCE WITH STATUTE

I, Steve E. Roberts, a Professional Land Surveyor, do hereby certify that I have surveyed and mapped all of Lot 1 of Certified Survey Map No. 2011 (CSM 2011) as recorded in Vol. 11 of Certified Survey Maps on Page 161 of the records of Kewaunee County, Wisconsin, which is located in the South Half of the Northeast Quarter of Section 24, Township 23 North, Range 24 East, City of Kewaunee of said Kewaunee County; AND ALSO, all of a parcel of land in the North half of said Northeast Quarter as described in TRUSTEE'S DEED, Volume 677 at Page 51 as Document 449665 of the records of said Kewaunee County; AND ALSO, a portion of a parcel of land in said North Half of the Northeast Quarter as described in a QUIT CLAIM DEED recorded as Document 347285 in Volume 299 at Page 20 of the records of Kewaunee County; AND ALSO, all a part of said North Half of the Northeast Quarter lying south of and abutting the South line of said tract of land described in a Quit Claim Deed recorded as Document 347285 in Volume 299 at Page 20 of the records of said Kewaunee County and described as follows:

Beginning at the Northwest corner of said CSM 2011, said point also being on the Southeastery State Highway 29 right of way line;
thence North 41°35'38" East along said right of way line, 93.15 feet, said line also being the Northwesterly line of said TRUSTEE'S DEED and said QUIT CLAIM DEED;
thence departing said right of way line, South 48°24'22" East, 96.17 feet to a point on the North line of said CSM 2011, said line also being the South line of said North Half of the Northeast Quarter;
thence North 87°30'28" East, along said North line of said CSM 2011, 113.02 feet to the Northeast corner thereof;
thence South 02°38'49" East, along the Easterly line of said CSM 2011, 116.00 feet;
thence South 41°39'35" West along the Southeastery line of said CSM 2011, 247.53 feet to the southerly-most corner thereof;
thence North 48°24'22" West along the ~~Southeasterly~~ ^{Southwesterly} line of said CSM 2011, 258.00 feet to the ~~Easterly~~ ^{Westerly}-most corner thereof, said point also being on said Southeastery State Highway 29 right of way line;
thence North 41°35'38" East along the Northwesterly line of said CSM 2011, 158.85 feet to the POINT OF BEGINNING.

Subject to any easements, agreements, covenant and restrictions, recorded or unrecorded.

That such map is a correct representation of all exterior boundaries of the land surveyed and the division of that land. That I have made such survey, division and map by the direction of the Owner(s) of said land, and that I have complied fully with the provisions of Section 236.34 of the Wisconsin Statutes in surveying, dividing and mapping the same.

Steve E. Roberts, PLS 3015 Dated
Renaissance Infrastructure Consulting
132 Abbie Avenue
Kansas City, KS 66103
Phone: 913-258-2928

Approved by the City Council of the City of Kewanee, this _____ day of _____, 2023.

By: _____
Jeffrey Vollenweider, Sr., Mayor

Attest: _____
Jo Ann Lesser, CMC, WCMC, City Clerk / Treasurer

Sheet x of 5

FOR THE EXECUTIVE USE OF:

KC DT, LLC
Attn: Mike Bolew
CBC Real Estate
4706 Broadway, Suite 240
Kansas City, MO 64112

DRAFT

Renaissance
Infrastructure
Consulting
102 Abbie Avenue
Kansas City, Kansas 66103
913.317.8500
www.ri-consult.com

Type of Sign	Sign Area		Sign Height		Projection		Other	
	Proposed	Current	Proposed	Current	Proposed	Current	Proposed	Current
Awning / Canopy Signs	Max sign area shall be 40% of the face of the awning/canopy. The area of the awning/canopy sign counts towards the max area allowed for wall signs.	Max 300 sq ft (B-2). Max 400 sq ft (B-3), Max 600 sq ft (I-2 and I-3). [Total Area of all signs cannot exceed this on property]					Awning/canopy signs shall only be permitted on awnings/canopies extending above ground floor entrances or windows.	
Projecting Signs	Maximum area is four square feet.	Shall not exceed 100 square feet per sign and total area of all signs shall not exceed 2 square feet per lineal foot of lot footage to a max of 300 square feet. (B1 District) Max 300 sq ft (B-2). Max 400 sq ft (B-3), Max 600 sq ft (I-2 and I-3).	Shall not extend above the roofline of the building to which it is attached or a max of 12', whichever is less.	May not exceed 15' in height (B-1), may not exceed 30 feet in height (B-2, WFD), may not exceed 35 feet in height (B-3, I-2, I-3)	- horizontally project a max of 4 feet from the building to which it is attached. - Projecting signs erected over marquees shall be set back not less than 2 feet from the outer edge of such marquee. - No projecting sign shall at its lowest point be less than 10 feet above the established grade immediately below.	No sign shall project onto the public right-of-way.	A maximum of one projecting sign shall be permitted per tenant space.	Projecting signs may be spaced no closer than 25 feet apart.